

ELEVATION  
PLAN

SCALE: 1/4"=1'-0"

PAPER: ARCH D 36x24

DATE ISSUED: 10-12-23

REVISIONS:

1. 1-26-24

2. 3-11-25

PLEASE NOTE:

DESIGNER ASSUMES NO LIABILITY FOR ANY HOME  
CONSTRUCTED FROM THIS PLAN.  
IT IS THE RESPONSIBILITY OF THE PURCHASER OF  
THIS PLAN TO PERFORM THE FOLLOWING BEFORE  
BEGINNING ACTUAL CONSTRUCTION.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL  
DIMENSIONS & ALL SQUARE FOOTAGE PRIOR TO  
PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY  
COMPLIANCE WITH ALL LOCAL BUILDING CODES  
IN THE AREA WHERE THE HOME IS TO BE  
CONSTRUCTED.

3. DESIGNER ASSUMES NO RESPONSIBILITY FOR  
STRUCTURAL ENGINEERING ASPECTS.

CAUTION MUST BE EXERCISED IN MAKING ANY  
CHANGES IN THIS PLAN.  
ONLY QUALIFIED DESIGNERS, ARCHITECTS,  
CONTRACTORS, OR STRUCTURAL ENGINEERS  
SHOULD ATTEMPT MODIFICATIONS, AS EVEN  
MINOR CHANGES IN ONE AREA OF THE HOUSE  
COULD LEAD TO MAJOR PROBLEMS IN ANOTHER  
AREA.

MARK LYNN & ASSOCIATES IS NOT A LICENSED  
ARCHITECT.



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

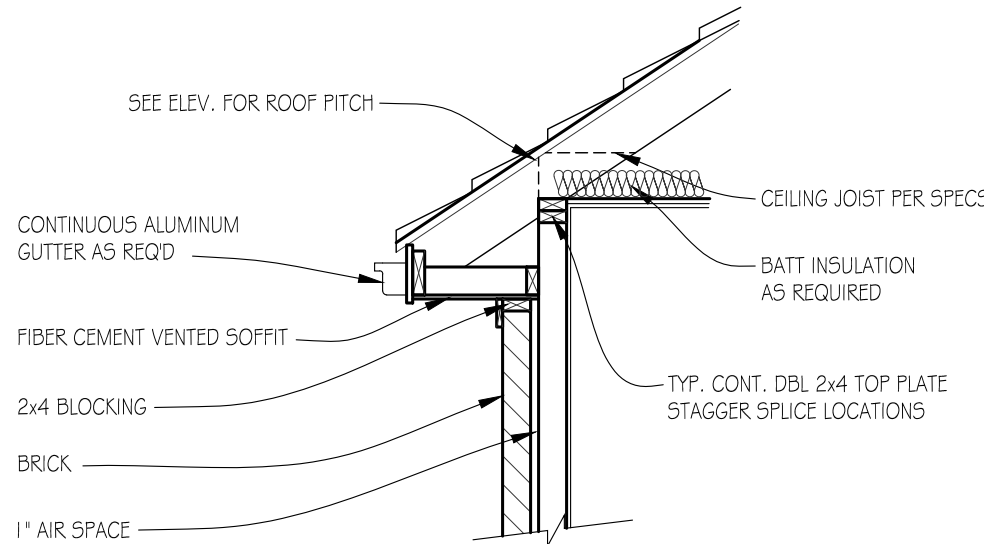


FRONT ELEVATION



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



DETAIL: ROOF FRAMED  
ON TOP OF PLATE

NOT TO SCALE

VALLEY VIEW RD  
LOT 4

Mark Lynn

& ASSOCIATES

615.308.5330

marklynn1@hotmail.com

6965 Sunnywood Dr.

Nashville, TN 37211

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FOUNDATION/  
ROOF PLAN

SCALE: 1/4"=1'-0"

|                       |
|-----------------------|
| PAPER: ARCH D 36x24   |
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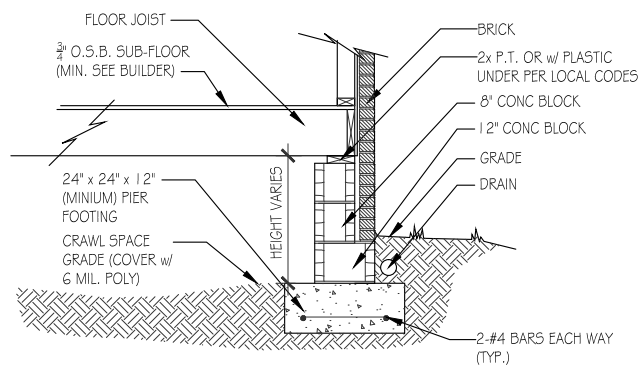
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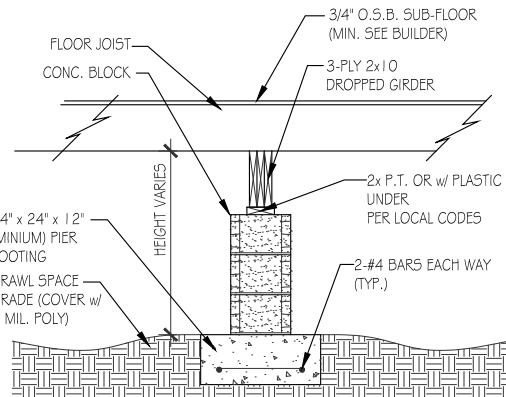
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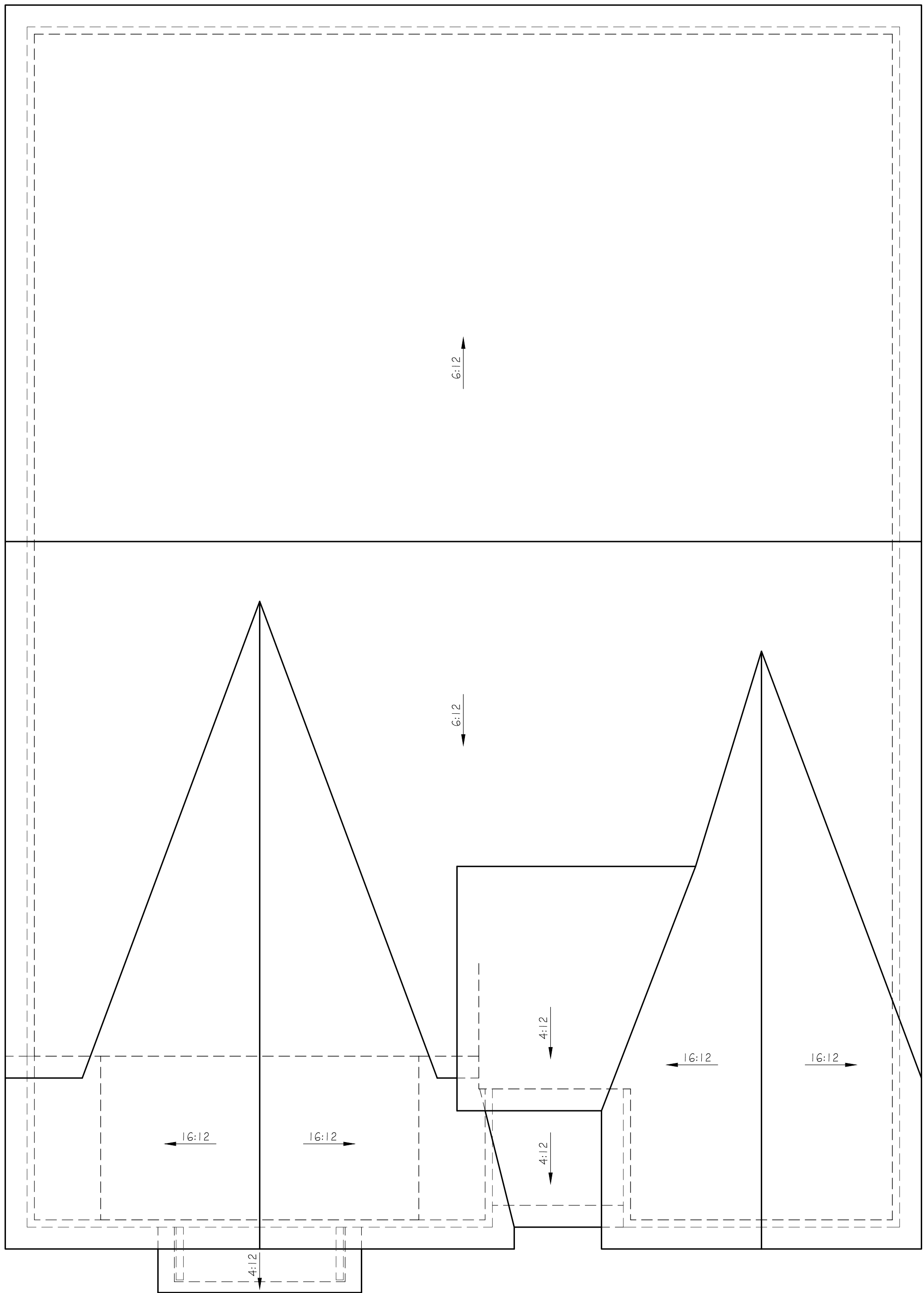
MARK LYNN & ASSOCIATES IS NOT A LICENSED ARCHITECT.



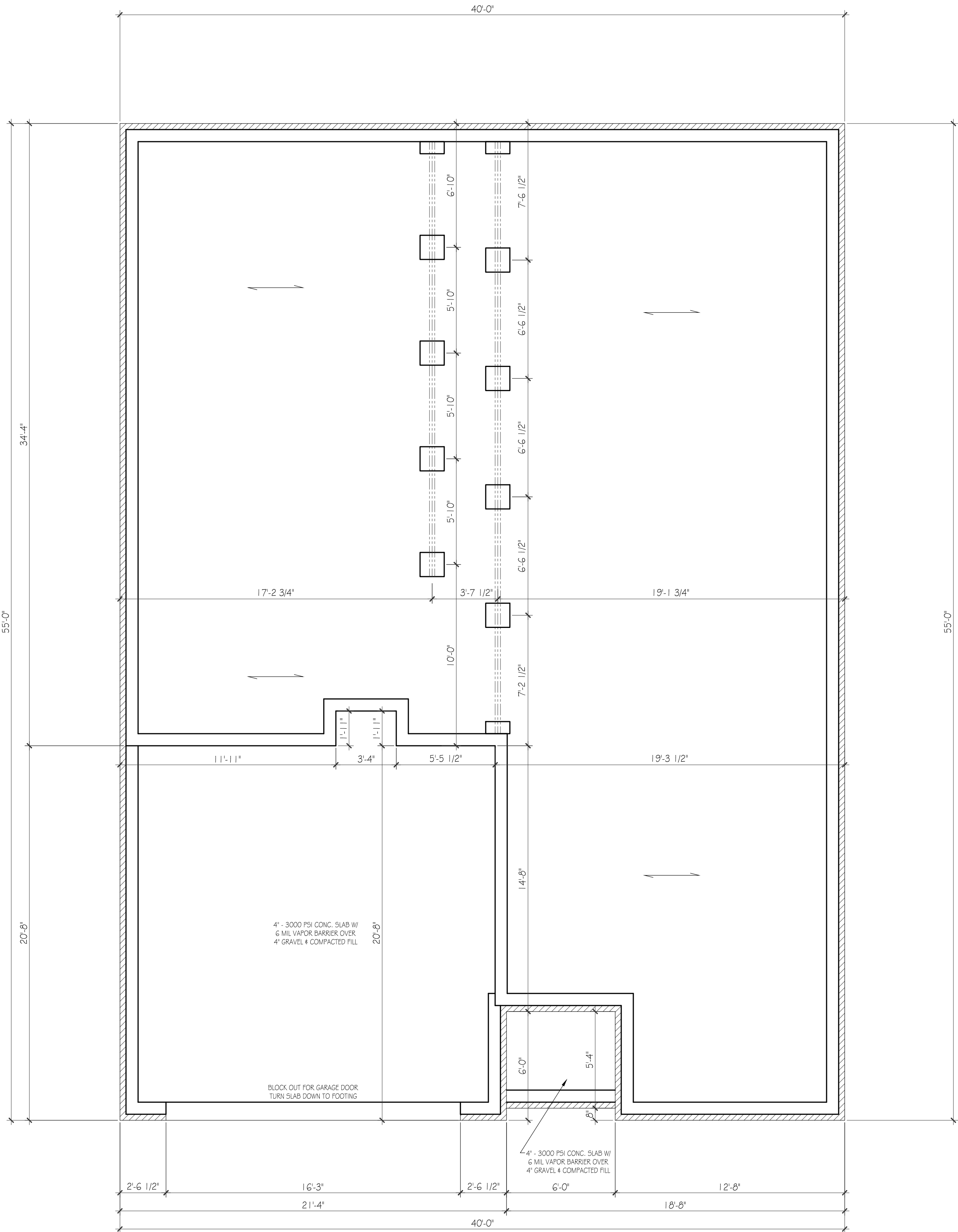
CRAWL SPACE- BRICK  
NOT TO SCALE, TYPICAL



DROPPED GIRDER  
NOT TO SCALE, TYPICAL



ROOF PLAN  
SCALE: 1/4"=1'-0"



FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

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FIRST & SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

|                       |
|-----------------------|
| PAPER: ARCH D 36x24   |
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- MARK LYNN & ASSOCIATES IS NOT A LICENSED ARCHITECT.

FRAMING NOTES

1. ALL EXTERIOR WALLS ARE 2x4 STUDS UNLESS NOTED OTHERWISE
2. ALLOW 4" BRICK POCKET IF APPLICABLE
3. CEILINGS: 1ST FLR: 10'-0" 2ND FLR: 9'-0"
4. ALL 1ST FLOOR WINDOWS ARE FRAMED @ 8'-0" AFF UNLESS NOTED OTHERWISE
5. ALL 2ND FLOOR WINDOWS ARE FRAMED @ 7'-6" AFF UNLESS NOTED OTHERWISE
6. ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE

ELECTRICAL KEY

|  |                         |
|--|-------------------------|
|  | CEILING FAN W / LIGHT   |
|  | LIGHT- CEILING MTD      |
|  | LIGHT- PENDANT / CHAND. |
|  | LIGHT- MINI-PENDANT     |
|  | LIGHT- SCONCE-WALL MTD  |
|  | LIGHT- RECESSED CAN     |
|  | LIGHT- RECESSED ACCENT  |
|  | LIGHT- FLOO. STRIP      |
|  | LIGHT- UNDERSTR/ COVE   |
|  | LIGHT- EXT. FLOOD       |
|  | EXHAUST FAN / LIGHT     |
|  | SWITCH- SINGLE          |
|  | SWITCH- 3 OR 4-WAY      |
|  | SWITCH- DIMMER          |
|  | SMOKE DETECTOR          |

ALL ELECTRICAL OUTLETS WILL BE PER THE NEC CODE

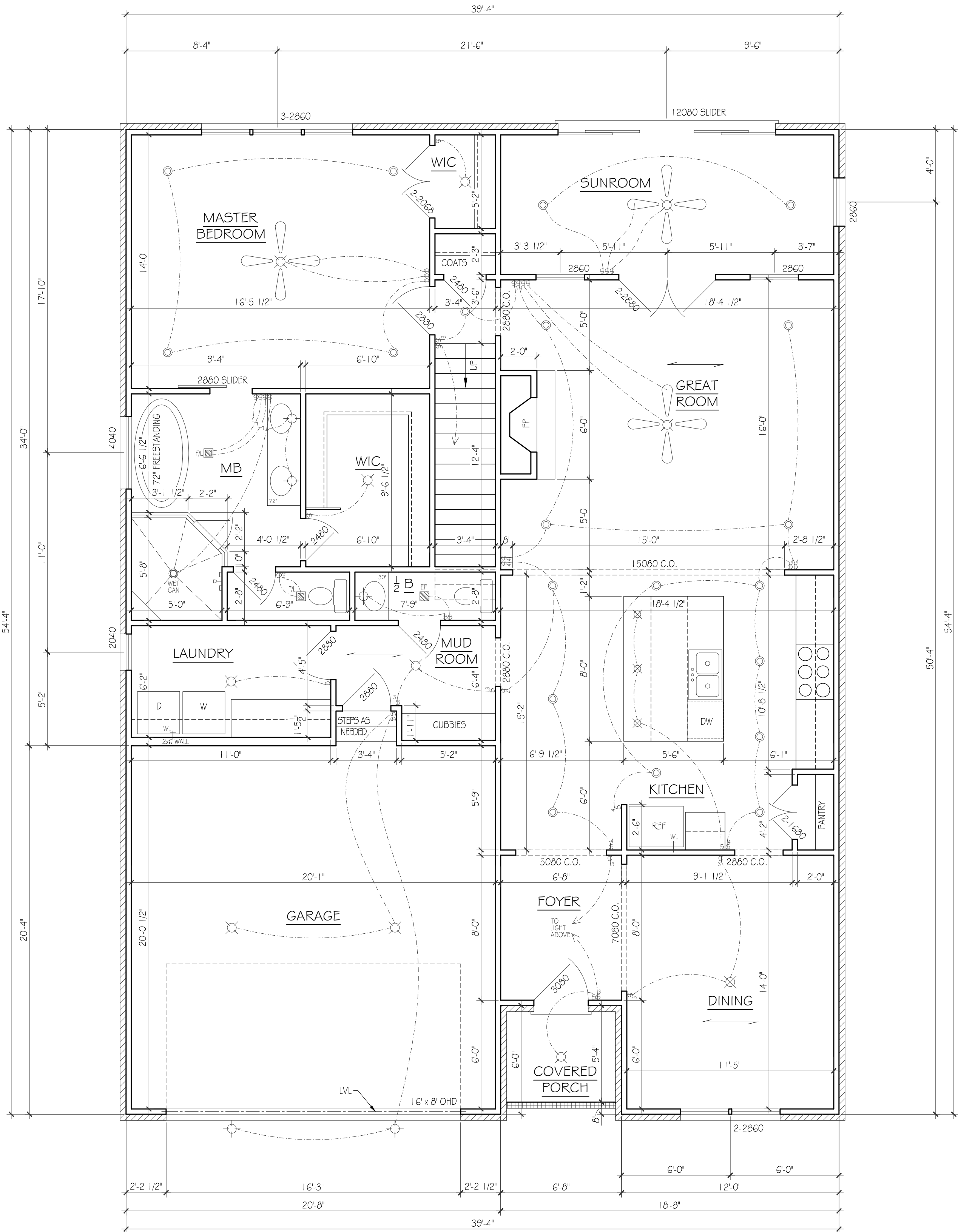
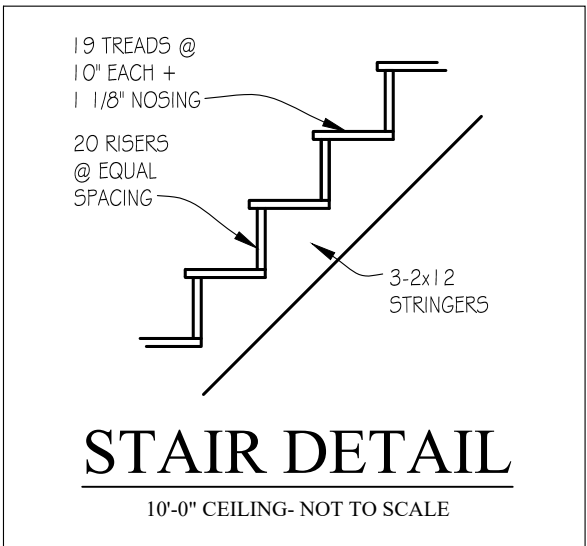
| APPROX. AREA        |      |
|---------------------|------|
| FIRST FLOOR LIVING  | 1675 |
| SECOND FLOOR LIVING | 2046 |
| THIRD FLOOR LIVING  | 701  |
| TOTAL LIVING        | 4422 |
| GARAGE              | 422  |
| FRONT COVERED PORCH | 36   |
| TOTAL COVERED       | 4880 |

VALLEY VIEW RD LOT 4

Mark Lynn

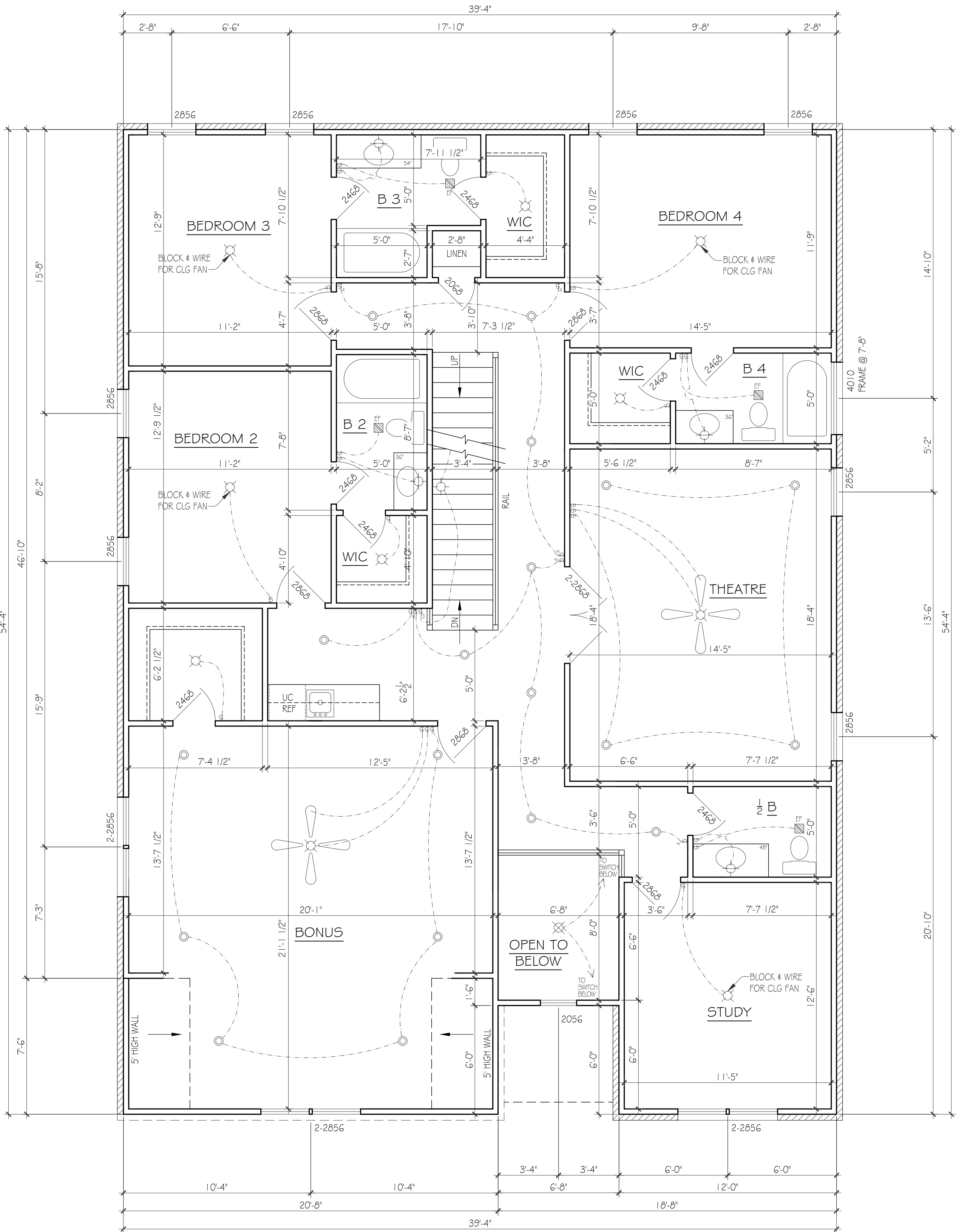
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FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

THIRD  
FLOOR PLAN

SCALE: 1/4"=1'-0"

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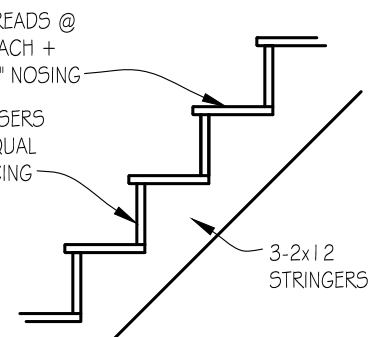
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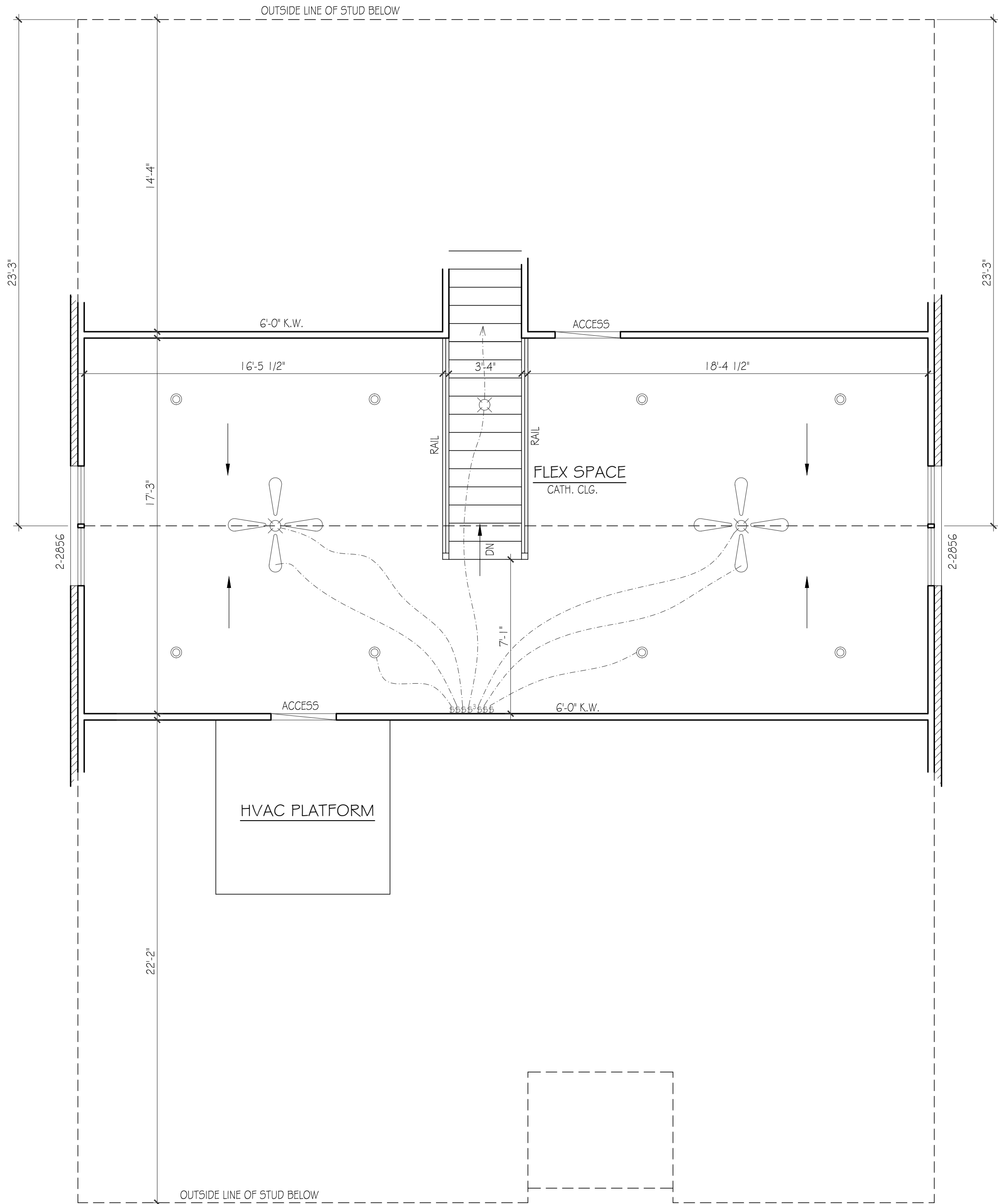
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STAIR DETAIL

9'-0" CEILING- NOT TO SCALE



THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

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