

ELEVATION
PLAN

SCALE: ¼"=1'-0"

PAPER: ARCH D 36x24
DATE ISSUED: 10-26-23
REVISIONS:
1. 1-18-24
2. 3-17-25

PLEASE NOTE:

DESIGNER ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS & ALL SQUARE FOOTAGE PRIOR TO PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.

3. DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL ENGINEERING ASPECTS.

CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNERS, ARCHITECTS, CONTRACTORS, OR STRUCTURAL ENGINEERS SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE HOUSE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.

MARK LYNN & ASSOCIATES IS NOT A LICENSED ARCHITECT.



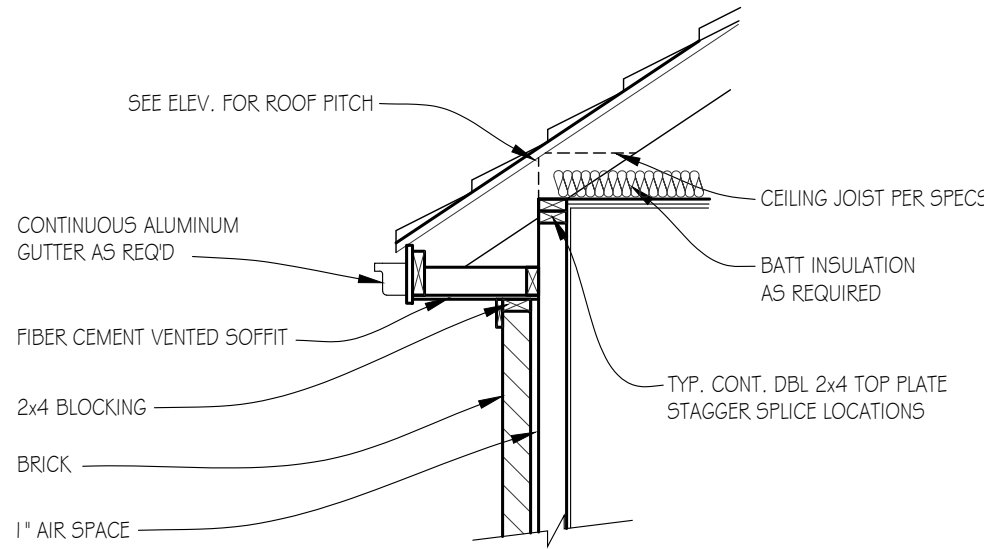
REAR ELEVATION

SCALE: ¼"=1'-0"



LEFT ELEVATION

SCALE: ¼"=1'-0"



DETAIL: ROOF FRAMED
ON TOP OF PLATE

NOT TO SCALE

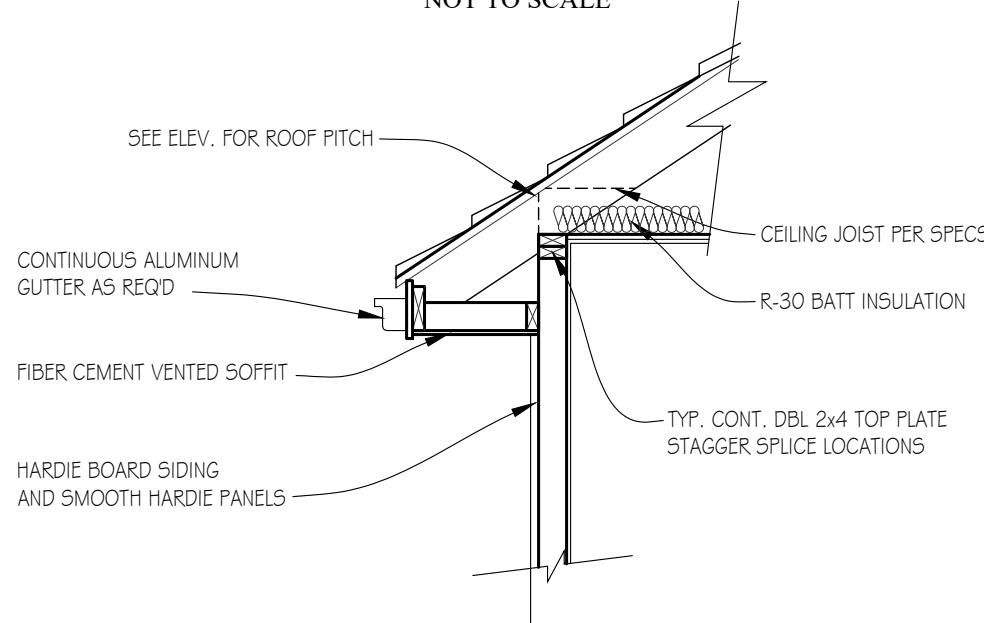


FRONT ELEVATION



RIGHT ELEVATION

SCALE: ¼"=1'-0"



DETAIL: ROOF FRAMED
ON TOP OF PLATE

NOT TO SCALE

VALLEY VIEW RD
LOT 5

Mark Lynn

& ASSOCIATES

615.308.5330

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6965 Sunnywood Dr.

Nashville, TN 37211

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FOUNDATION/
ROOF PLAN

SCALE: 1/4"=1'-0"

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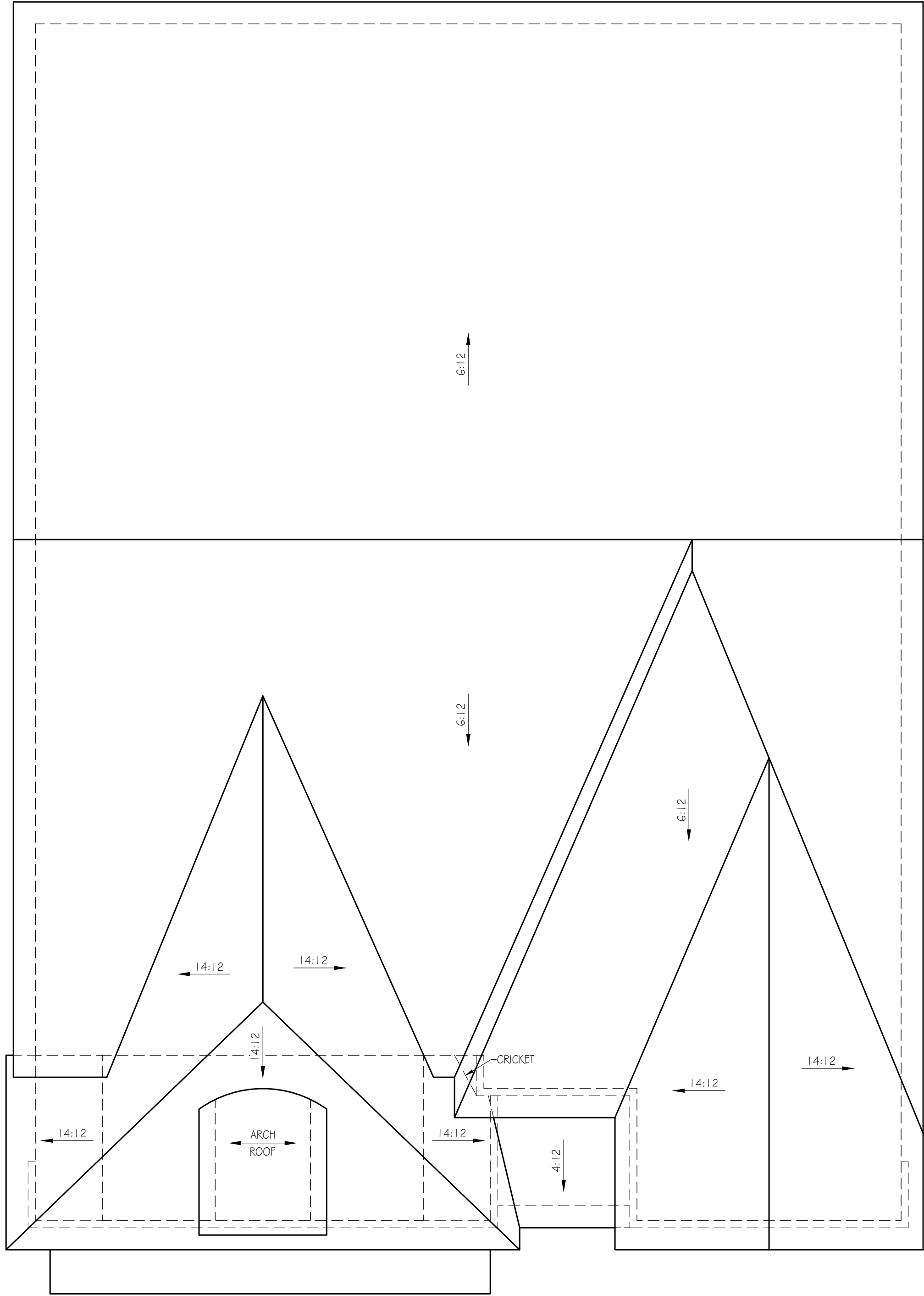
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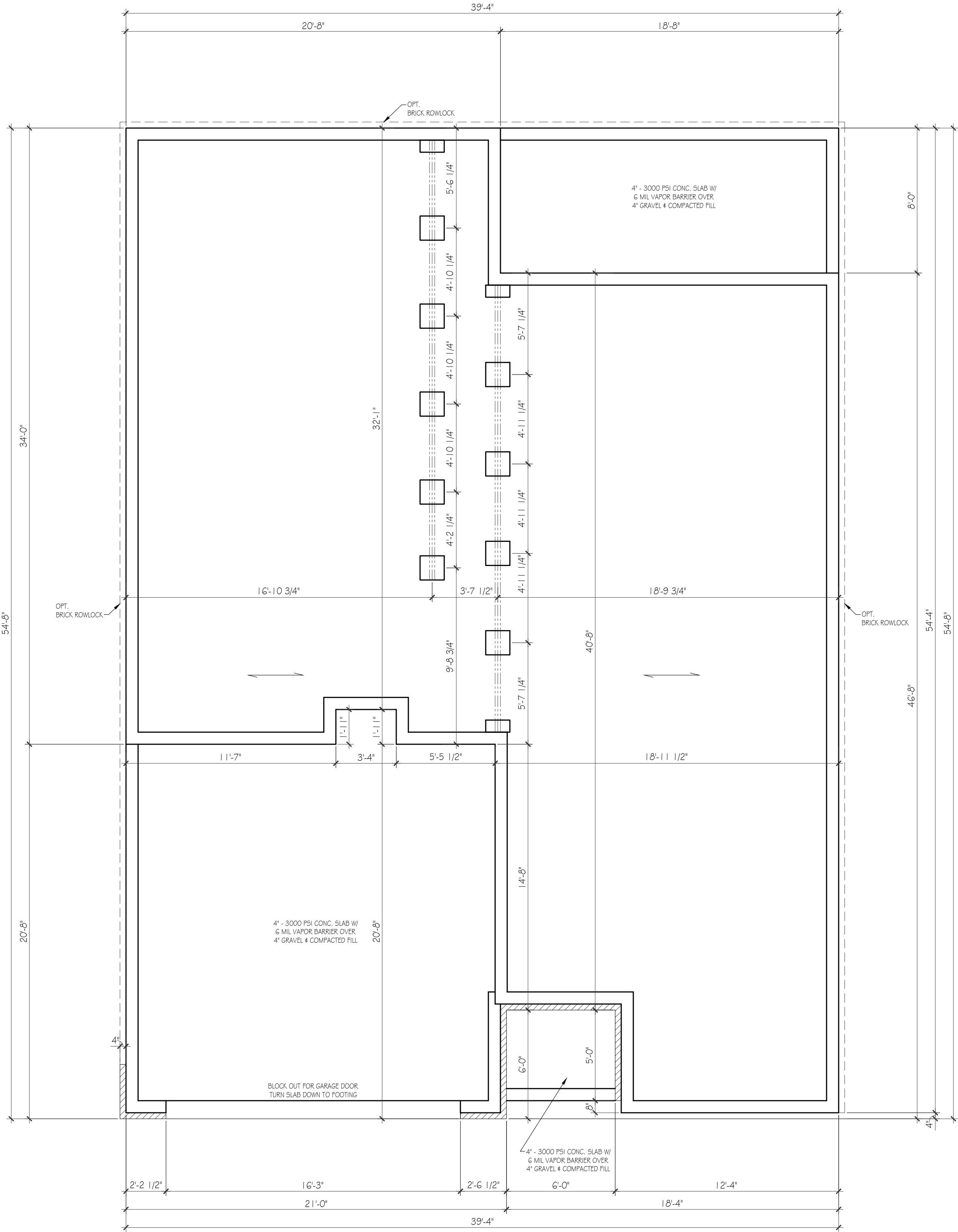
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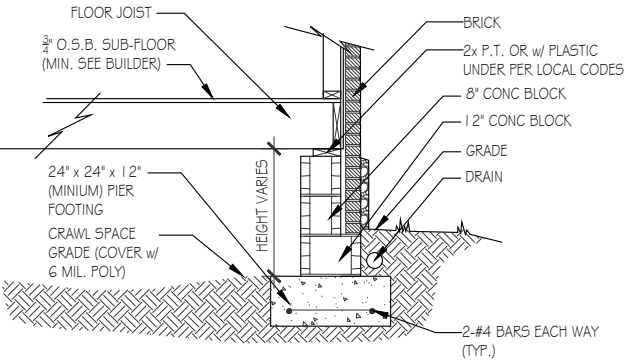
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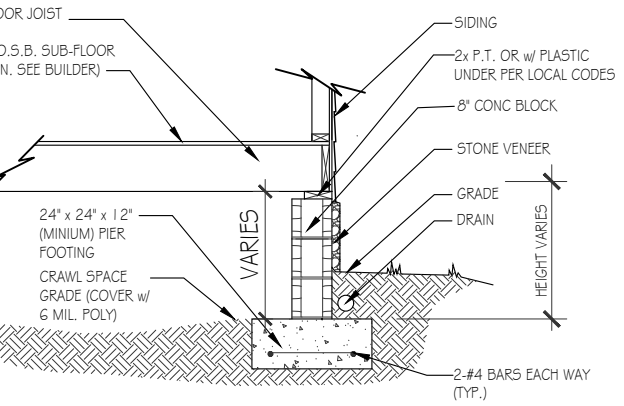
ROOF PLAN
SCALE: 1/4"=1'-0"



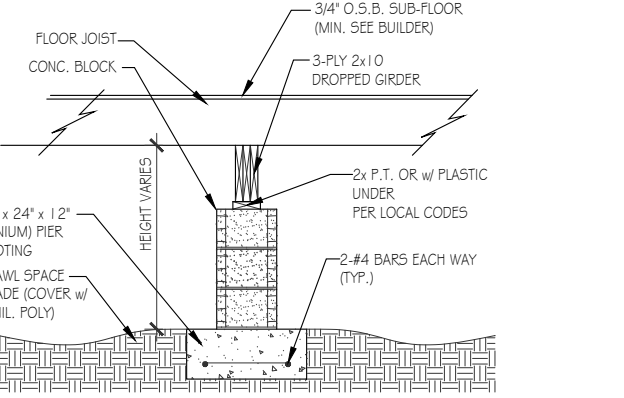
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



CRAWL SPACE- BRICK
NOT TO SCALE, TYPICAL



CRAWL SPACE -
SIDING STONE ROWLOCK
NOT TO SCALE, TYPICAL



DROPPED GIRDER
NOT TO SCALE, TYPICAL

VALLEY VIEW RD
LOT 5

Mark Lynn

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FIRST & SECOND FLOOR PLAN

SCALE: $\frac{1}{4}"=1'-0"$

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FRAMING NOTES

1. ALL EXTERIOR WALLS ARE 2x4 STUDS
UNLESS NOTED OTHERWISE
2. ALLOW 4" BRICK POCKET IF APPLICABLE
3. CEILINGS: 1ST FLR: 10'-0"
2ND FLR: 9'-0"
3RD FLR: 7'-6"
4. ALL 1ST FLOOR WINDOWS ARE FRAMED
@ 6'-0" AFF UNLESS NOTED OTHERWISE
5. ALL 2ND FLOOR WINDOWS ARE FRAMED
@ 7'-6" AFF UNLESS NOTED OTHERWISE
6. ALL 3RD FLOOR WINDOWS ARE FRAMED
@ 6'-0" AFF UNLESS NOTED OTHERWISE
7. ANGLED WALLS ARE 45 DEG.
UNLESS NOTED OTHERWISE

ELECTRICAL KEY

	CEILING FAN W/ LIGHT
	LIGHT- CEILING MTD
	LIGHT- PENDANT / CHAND.
	LIGHT- MINI-PENDANT
	LIGHT- SCONCE- WALL MTD
	LIGHT- RECESSED CAN
	LIGHT- RECESSED ACCENT
	LIGHT- FLUO. STRIP
	LIGHT- UNDERCAB / COVE
	LIGHT- EXT. FLOOD
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SWITCH- SINGLE
	SWITCH- 3 OR 4-WAY
	SWITCH- DIMMER
	SMOKE DETECTOR
ALL ELECTRICAL OUTLETS WILL BE PER THE NEC CODE	

APPROX. AREA	
FIRST FLOOR LIVING	1675
SECOND FLOOR LIVING	2046
THIRD FLOOR LIVING	701
TOTAL LIVING	4422
GARAGE	422
FRONT COVERED PORCH	36
TOTAL COVERED	4880

VALLEY VIEW RD
LOT 5

Mark Lynn

& ASSOCIATES

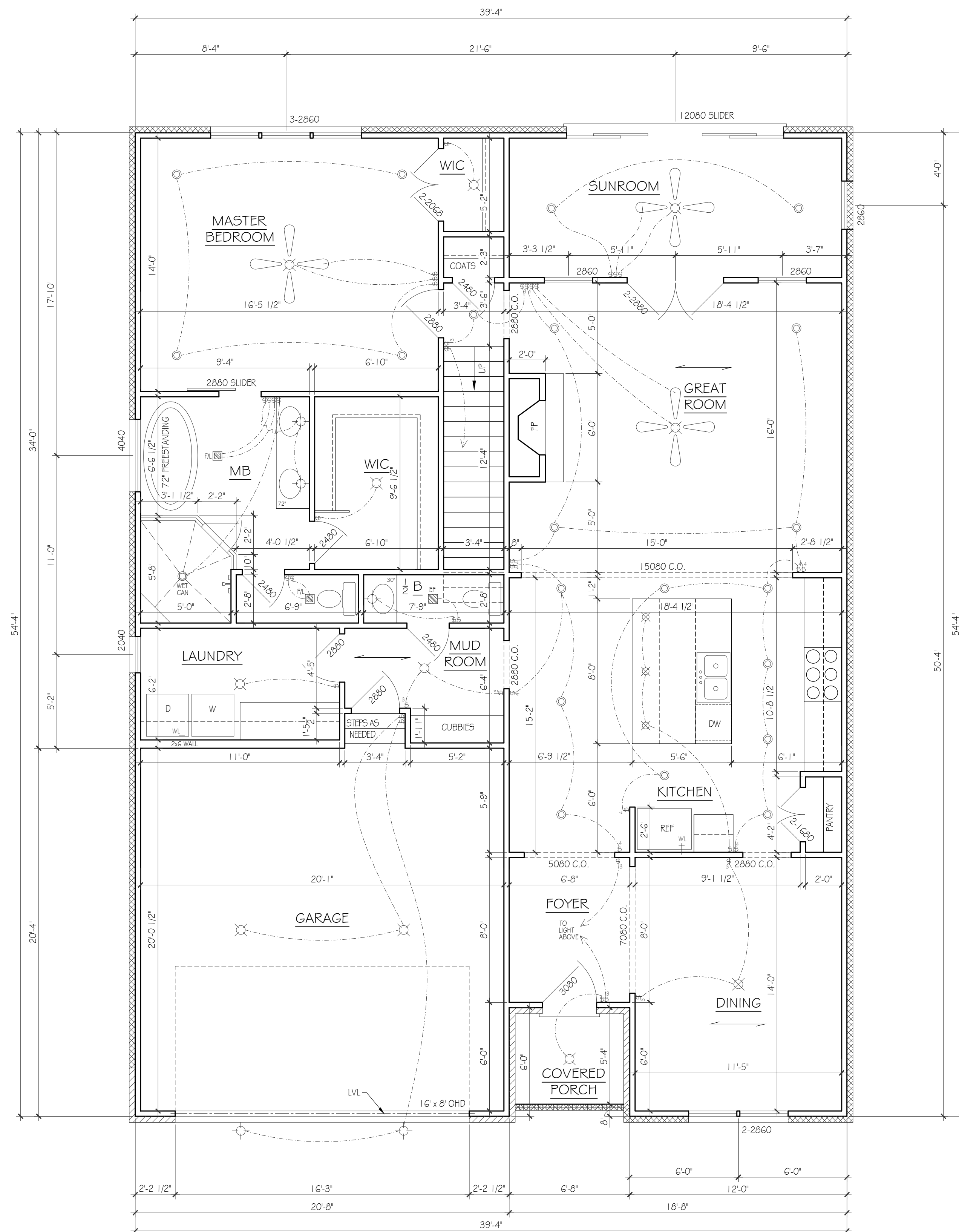
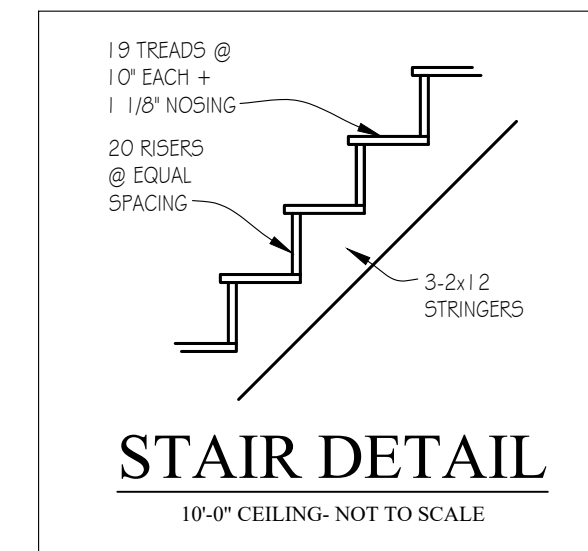
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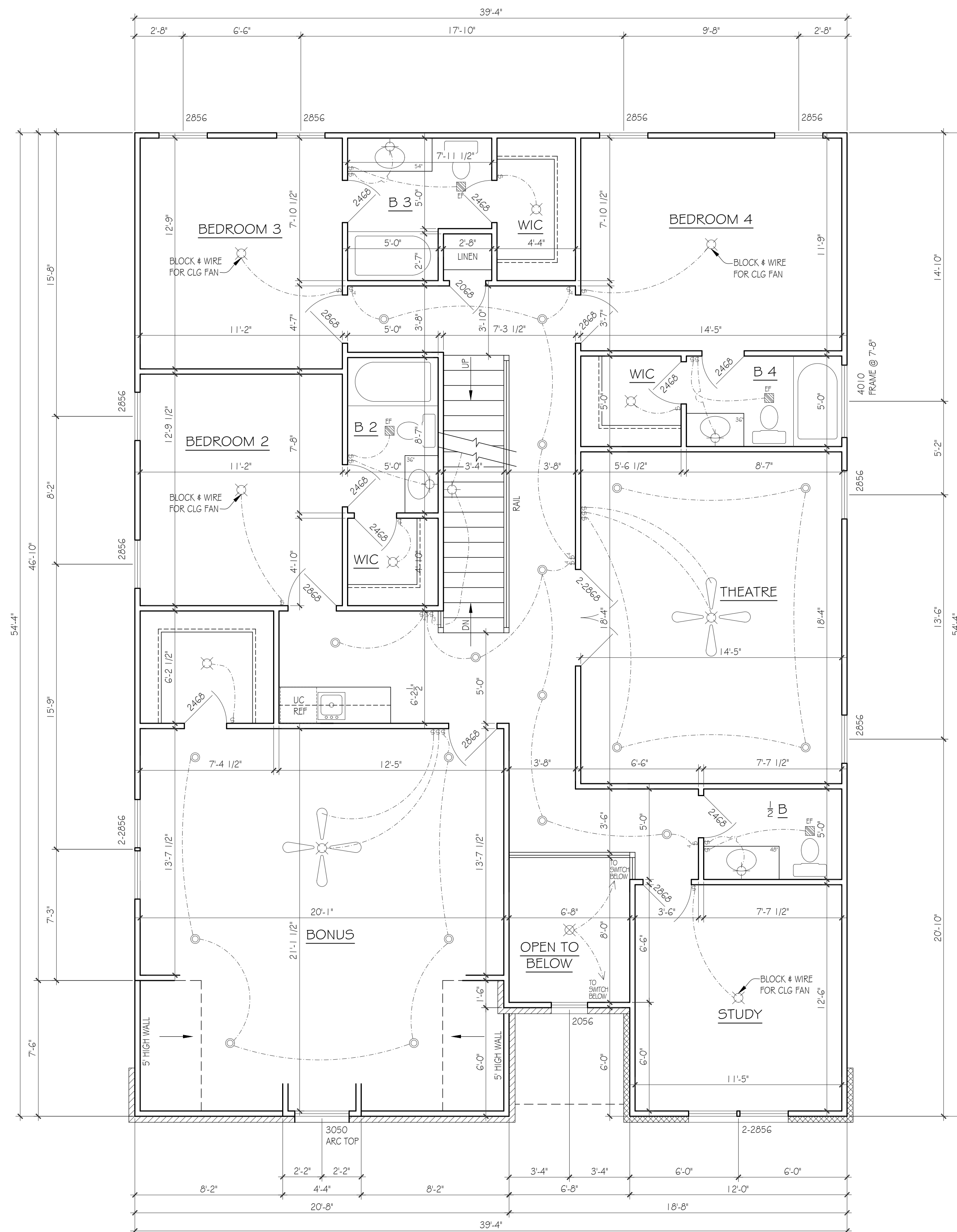
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FIRST FLOOR PLAN

SCALE: $\frac{1}{4}$ "-1'-0"



SECOND FLOOR PLAN

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THIRD FLOOR PLAN

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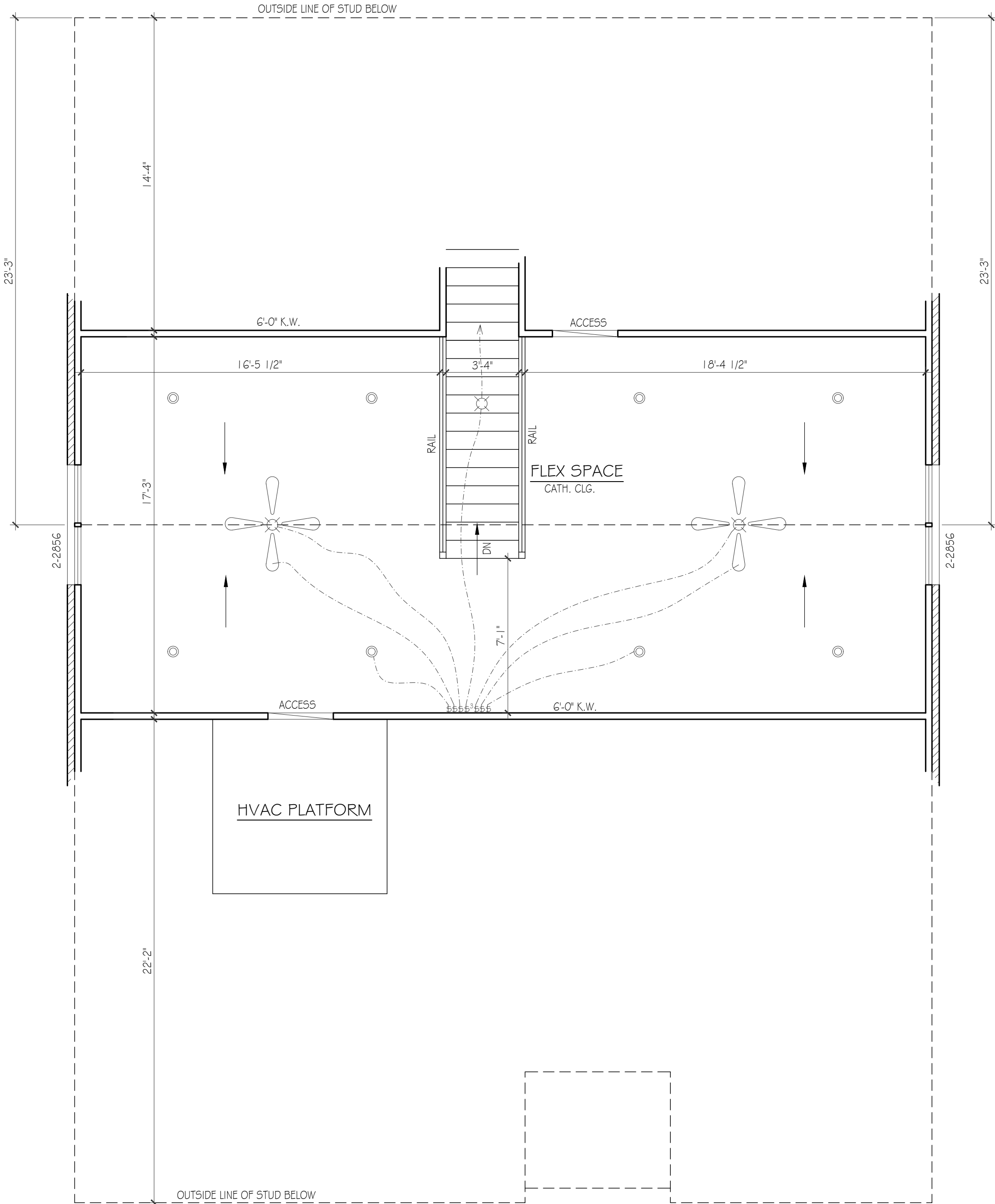
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THIRD FLOOR PLAN

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