

PLEASE NOTE:

DESIGNER ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS & ALL SQUARE FOOTAGE PRIOR TO PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.

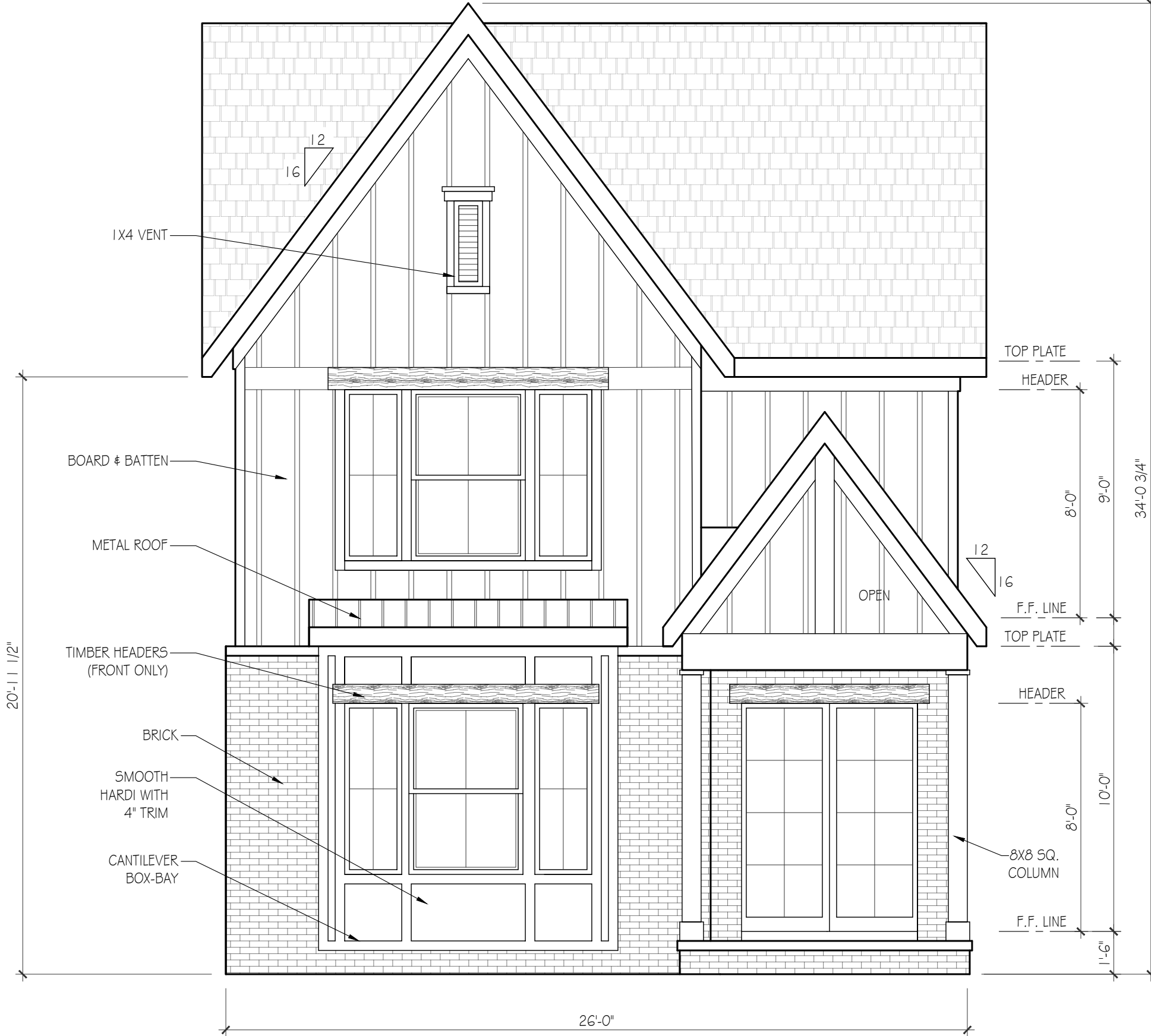
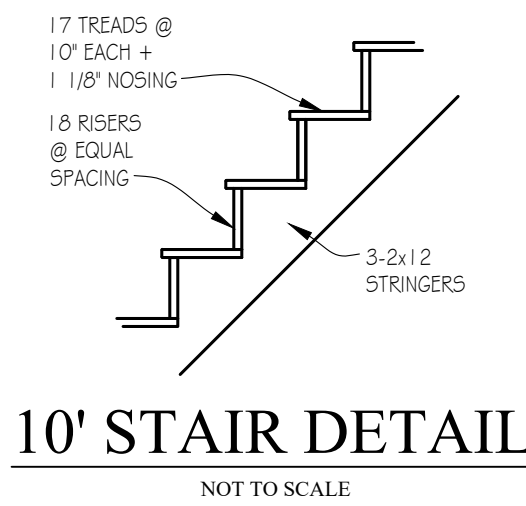
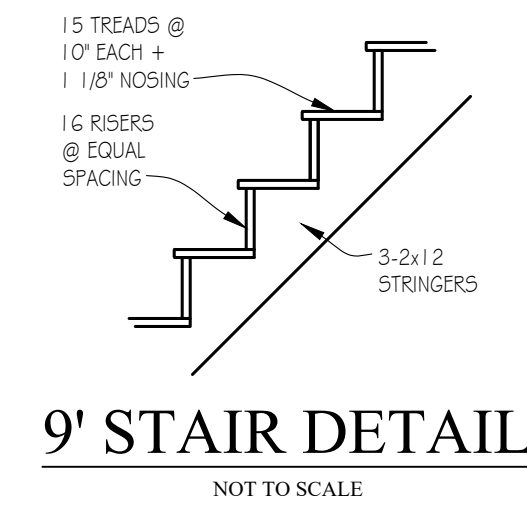
3. DESIGNER ASSUMES NO RESPONSIBILITY FOR STRUCTURAL ENGINEERING ASPECTS.

CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNERS, ARCHITECTS, CONTRACTORS, OR STRUCTURAL ENGINEERS SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE HOUSE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.

MARK LYNN & ASSOCIATES IS NOT A LICENSED ARCHITECT.

ELEVATION & ROOF NOTES

- DO NOT SCALE ELEVATIONS
- ROOF HAS 12" OVERHANGS UNLESS NOTED OTHERWISE
- VENTS & RIDGE VENTS PER BUILDER
- GUTTERS & DOWNSPOUTS PER BUILDER
- FLASHING AS REQD PER BUILDER
- ICE & WATER SHIELD ON 3:12 & 4:12 ROOFS AS REQD



EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

PAPER: ARCH C 24x18
DATE ISSUED: 08.22.23
REVISIONS:
1.

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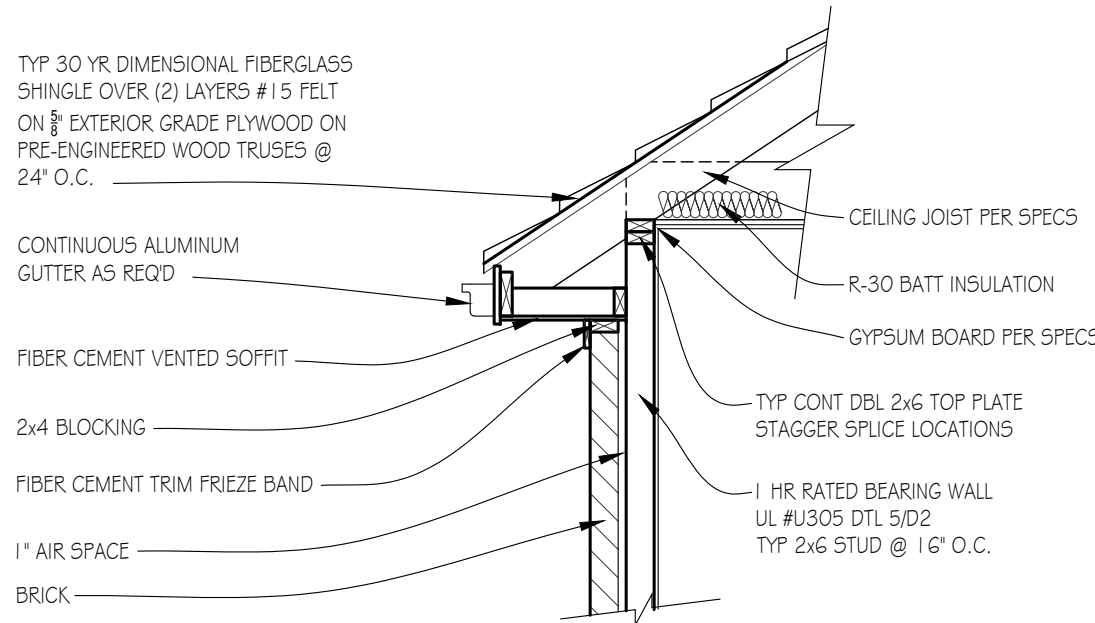
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DETAIL:
ROOF FRAMED ON TOP OF PLATE
NOT TO SCALE, TYPICAL



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

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FOUNDATION
& ROOF PLAN

SCALE: 1/4"=1'-0"

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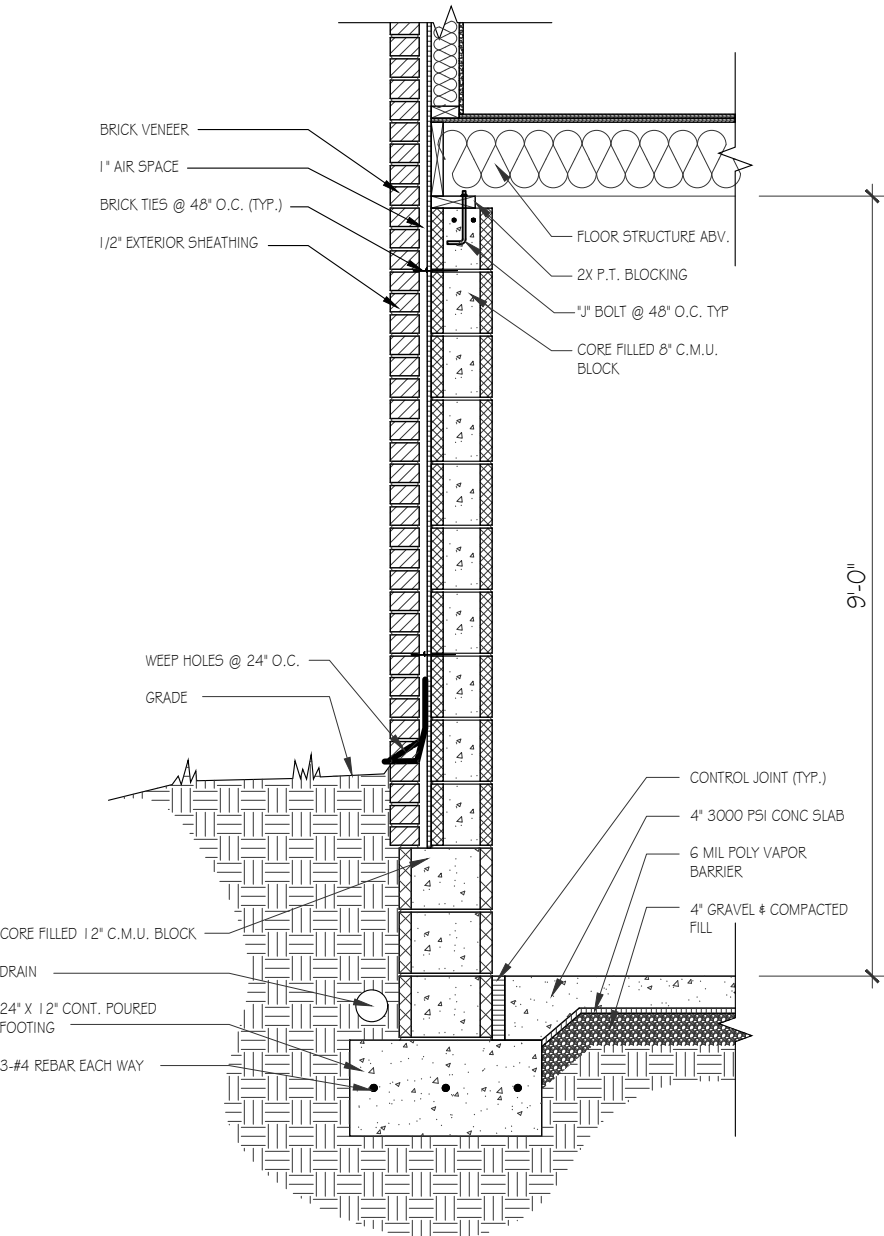
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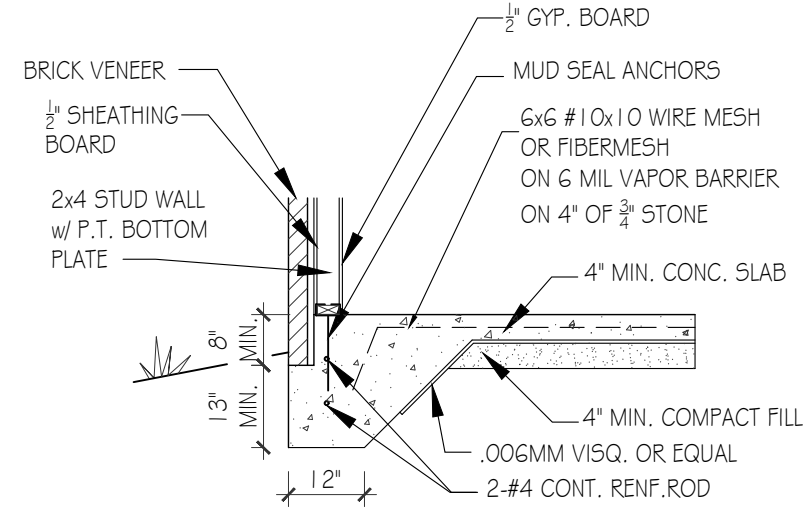
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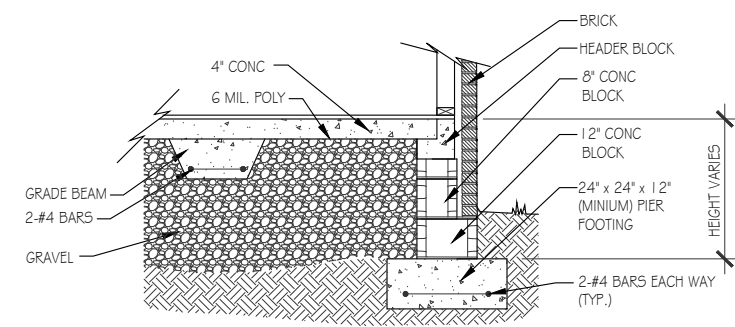
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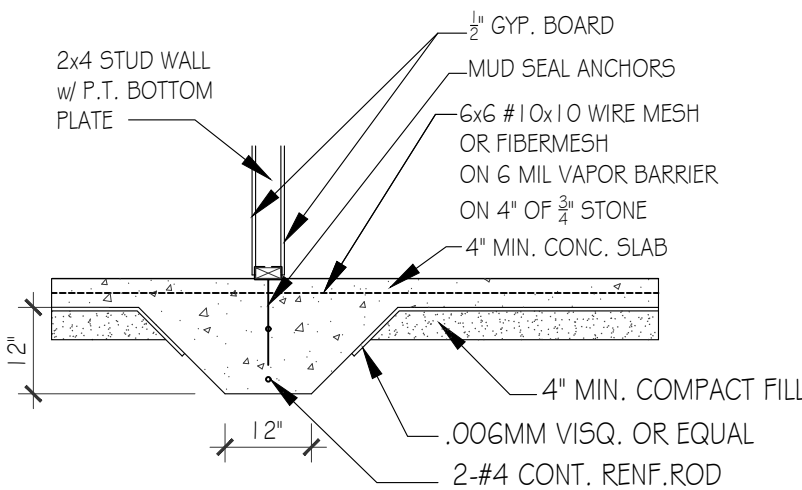
DETAIL: BASEMENT C.M.U.
WALL w/ BRICK VENEER
NOT TO SCALE, TYPICAL



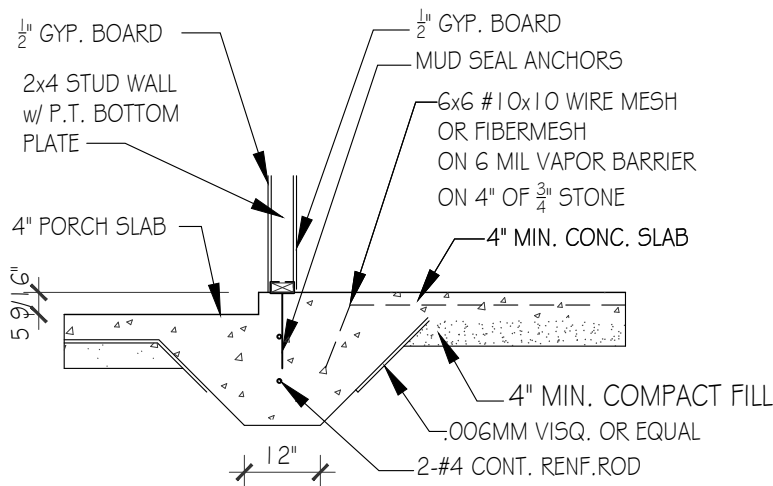
DETAIL:
EXTERIOR BRICK WALL
NOT TO SCALE, TYPICAL



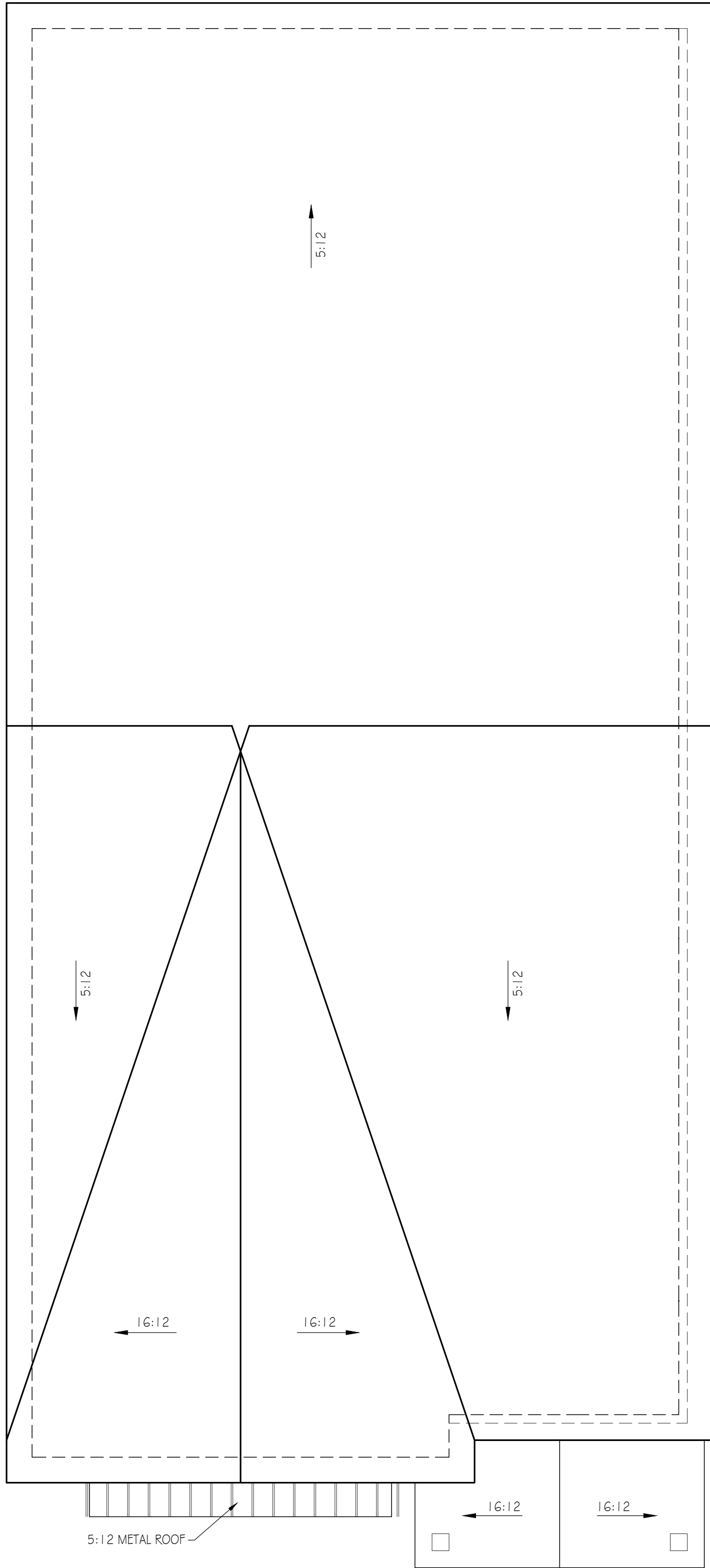
DETAIL:
BRICK BLOCK SLAB
NOT TO SCALE, TYPICAL



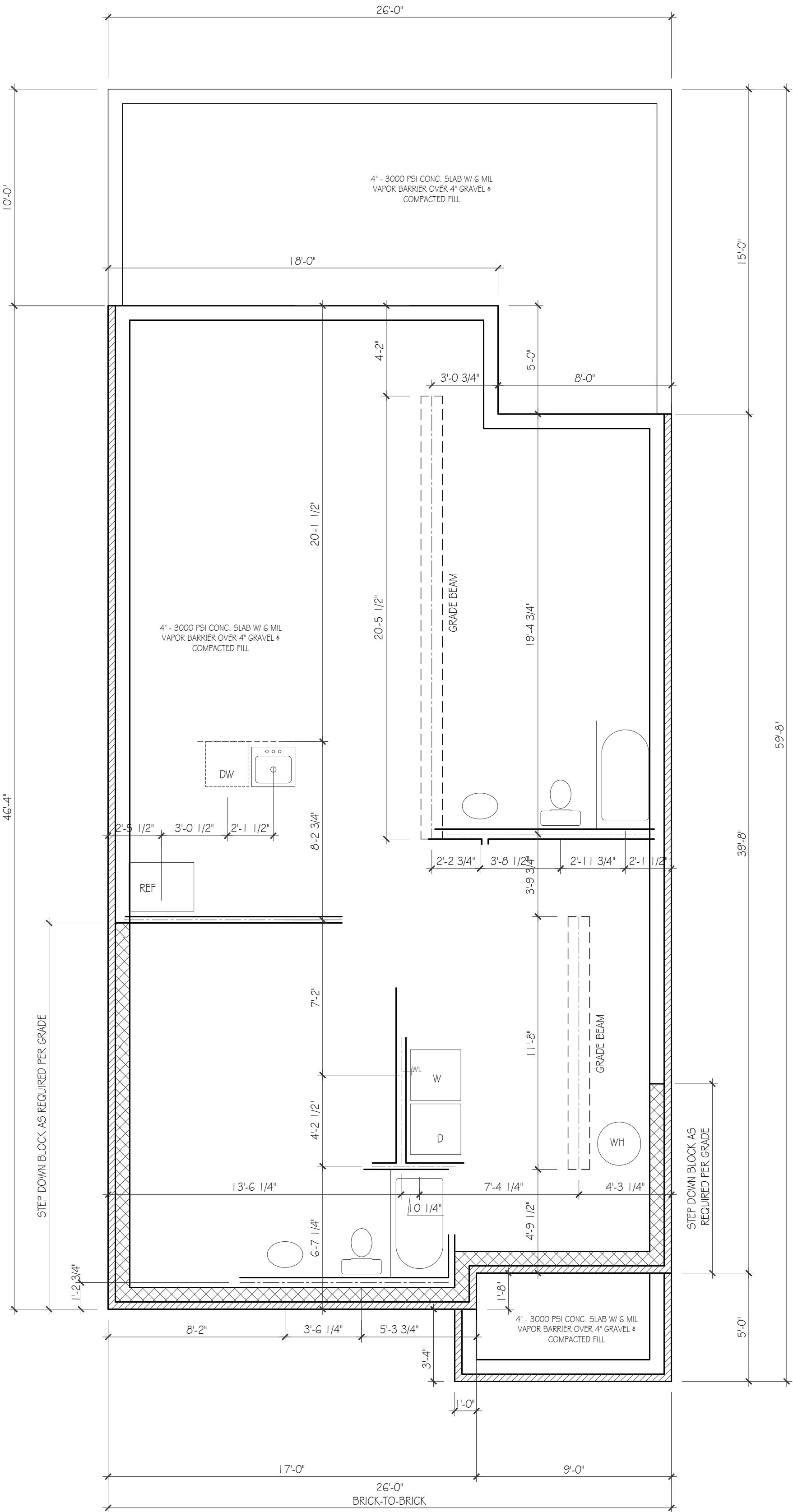
DETAIL:
GRADE BEAM
NOT TO SCALE, TYPICAL



DETAIL:
PORCH TO HOUSE
FINISH FLOOR
NOT TO SCALE, TYPICAL



ROOF PLAN
SCALE: 1/4"=1'-0"



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

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FLOOR PLANS

SCALE: 1/4"=1'-0"

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FRAMING NOTES

1. ALL EXTERIOR WALLS ARE 5" UNLESS OTHERWISE NOTED

2. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED

3. ALLOW 4" BRICK POCKET IF APPLICABLE

4. CEILINGS: BASEMENT: 9'-0"

1ST FLR: 10'-0"

2ND FLR: 9'-0"

5. ALL BGMT & 1ST FLR WINDOWS ARE FRAMED @ 8'-0" AFF UNLESS OTHERWISE NOTED

6. ALL 2ND FLOOR WINDOWS ARE FRAMED @ 7'-2" AFF UNLESS OTHERWISE NOTED

ELECTRICAL SYMBOLS

	CEILING FAN W / LIGHT
	LIGHT- CEILING MTD
	LIGHT- PENDANT / CHAND.
	LIGHT- MINI-PENDANT
	LIGHT- SCONCE- WALL MTD
	LIGHT- RECESSED CAN
	LIGHT- RECESSED ACCENT
	EXHAUST FAN
	EXHAUST FAN / LIGHT
	SWITCH- SINGLE
	SWITCH- 3 OR 4-WAY
	OUTLET- DUPLEX
	OUTLET- 220v
	OUTLET- GFCI
	OUTLET- WATERPROOF GFCI
	CARBON MON & SMOKE DET.
	ELECTRICAL PANEL

NOTE:

-LOCATION OF CABLE & PHONE JACKS PER OWNER

-ALL ELECTRICAL OUTLETS WILL BE PER NEC CODE

APPROX. AREA	
BASEMENT LIVING	1077
FIRST FLOOR LIVING	1127
SECOND FLOOR LIVING	1350
TOTAL HEATED	3554
FRONT PORCH	48
REAR DECKS	600
TOTAL COVERED	4202

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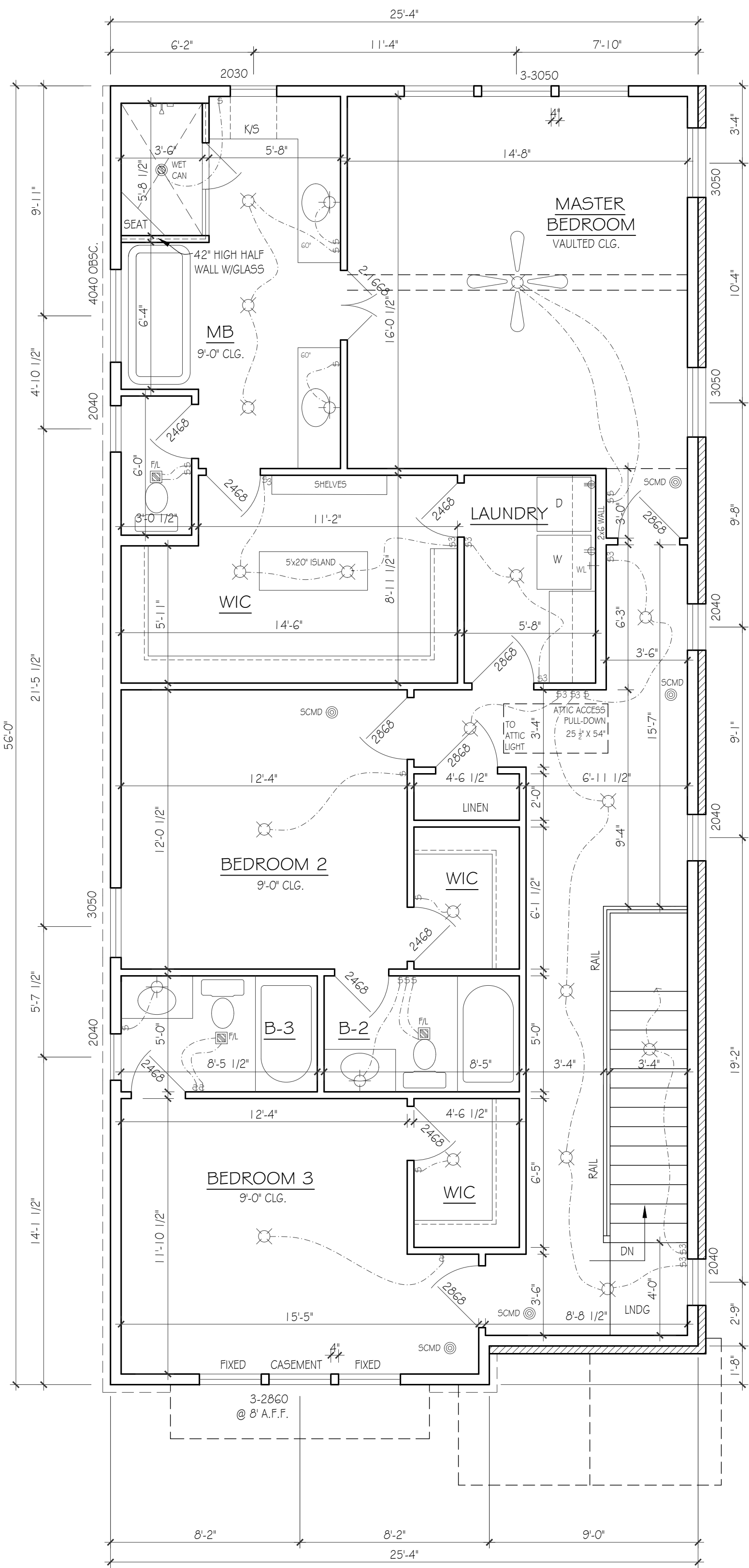
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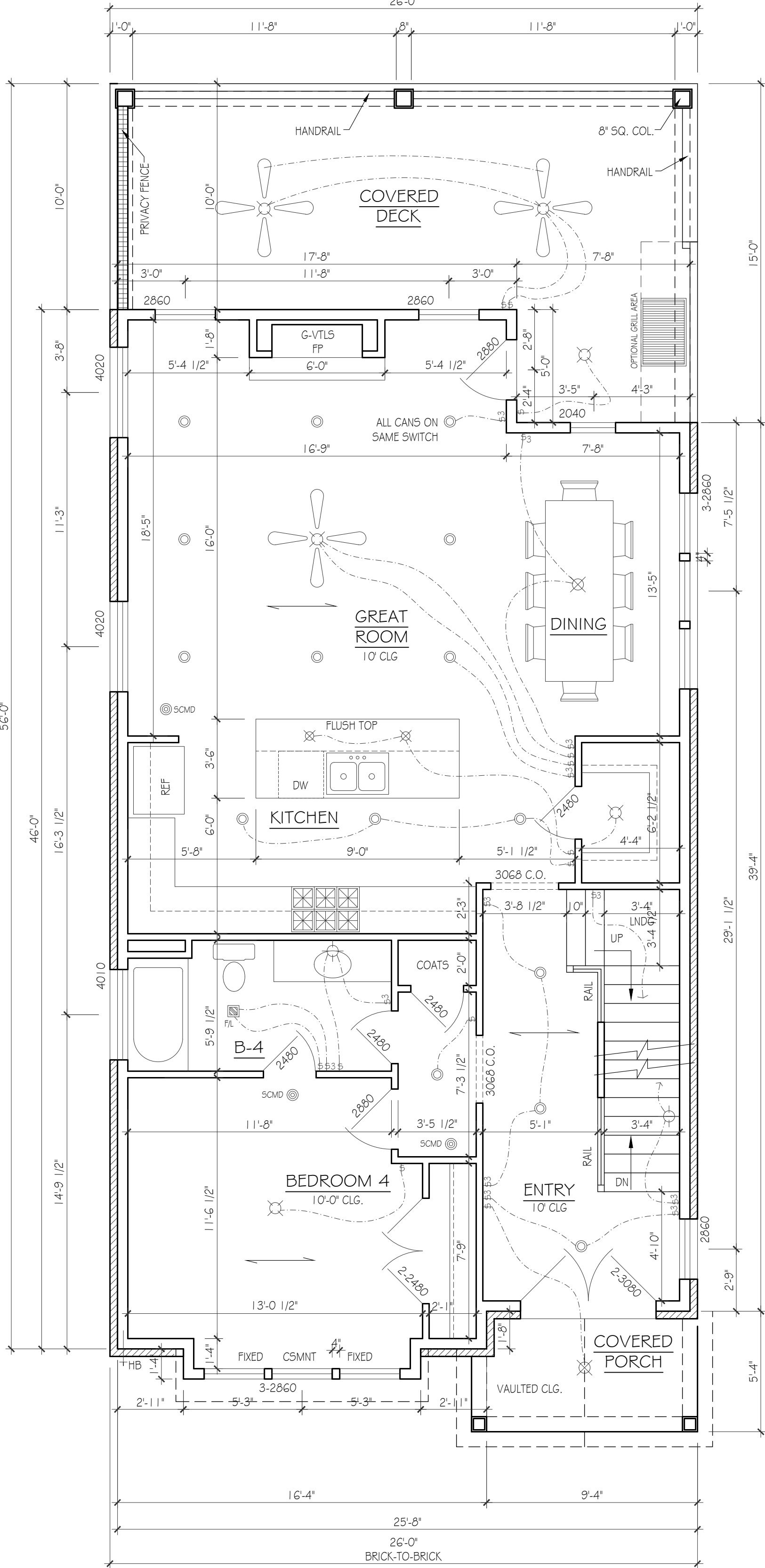
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



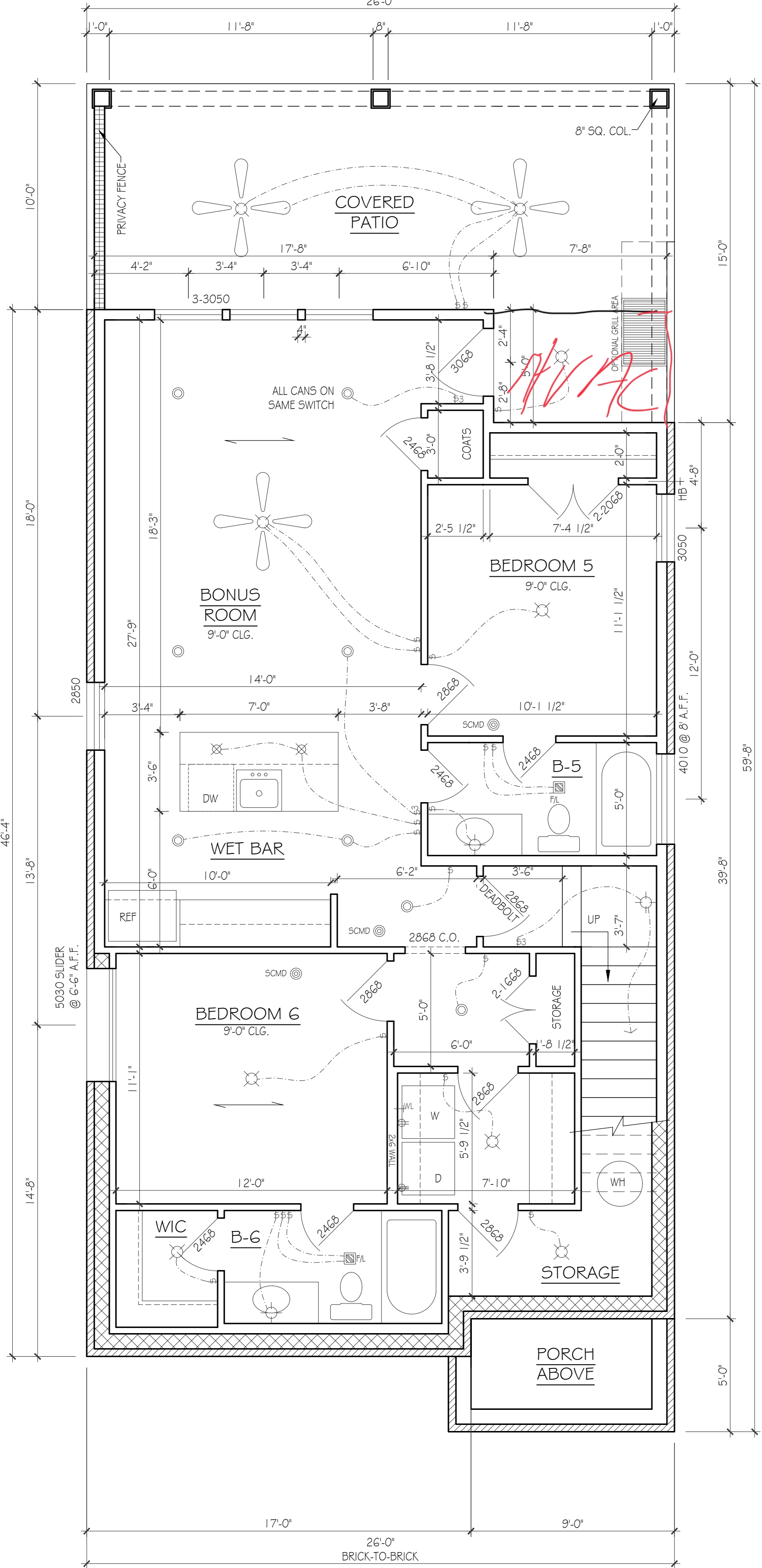
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



BASEMENT PLAN

SCALE: 1/4"=1'-0"



WALL LEGEND	
EXTERIOR	BRICK WALL
	CMU RETAINING WALL
INTERIOR	1/2" WALL W/ GLASS